



Archaeological Desk-Based Assessment in Relation to the Proposed Development at 281 The Broadway, Bexleyheath, DA6 8DG.

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SWAT ARCHAEOLOGY

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Summary

SWAT Archaeology has been commissioned by Handf Finance Ltd to prepare an Archaeological Desk-Based Assessment in relation to the Proposed Development at 281 The Broadway, Bexleyheath, DA6 8DG.

This Desk Based Assessment is intended to explore and disseminate the known and potential heritage resource within the site and the surrounding area, and to assess the likely impacts of the development proposals on this resource. Based on this data the potential for archaeological sites either on or in the near vicinity of the proposed development can be summarized as:

- Prehistoric: **low**
- Roman: **high**
- Anglo-Saxon: **low**
- Medieval: **low**
- Post-Medieval: **high**
- Modern: **high**

Bexleyheath is on the eastern outskirts of London, 18km from the centre and 6 miles from Dartford with the site located on the southern side of Broadway (A207). The site is currently two commercial units located in a single storey element fronting the road with a sloping roof with a two-storey building behind and a single storey extension at the rear. At the rear of the Site is a warehouse. Either side are other commercial properties at ground level, residential above and the main shopping centre to Bexley heath is further eastwards. Southwards of the site are residential plots and a warehouse accessed from Lion Road, off Broadway to the east. The site is 0.057 hectares on level ground at 49m aOD

The assessment has generally shown that the area to be developed is within an area of high archaeological potential for the Roman periods with the PDA located within an area of High Archaeological Potential in relation to the possible route of a Roman Road, which has regional and high significance. There is also high archaeological potential for the Post Medieval and

Modern period in relation to the changes and activities seen at the PDA during these periods, which are of low significance. There is considered to be low potential for all other periods.

Historical research and mapping indicate that the PDA was part of heathlands until the Post Medieval period where it then became agricultural and by the end of the 19th century due to the expansions of Bexleyheath, initially as a ribbon development along Watling Street, a detached house and outbuilding was built within the PDA. Through the 20th century, the house was extended a number of times and converted to commercial use. The house extensions have been demolished and replaced a number of times and many outbuildings have come and gone at the PDA. Consequently, it is considered that there has been a high level of disturbance and impact to any potential archaeology at the PDA which means that the overall potential for surviving archaeology is considered low.

The proposed development is for the demolition of the existing buildings on the site to be replaced with a single building comprising of one commercial unit and a single residential unit on the ground floor with a further 8 residential units on the upper three floors. The new building will require foundations and associated services. Consequently, the proposed development will have a high impact on any potential archaeology should it exist. Despite there being a low probability of surviving archaeology, given the PDA is situated in an AHAP due to the Roman road, a programme of archaeological works should be considered. The need for, scale, scope, and nature of any further assessment and/or archaeological works, if any should be agreed through consultation with the statutory authorities but it is recommended for a watching brief.

1 INTRODUCTION

1.1 Project Background

1.1.1 Swale & Thames Survey Company (SWAT) was commissioned by Handf Finance Ltd (the 'Client), to carry out an archaeological desk-based assessment of the Assessment in relation to the proposed development area (the PDA) at 281 The Broadway, Bexleyheath, DA6 8DG centred on National Grid Reference (NGR) TQ 48457 75346 (Fig 1).

1.2 The Site

1.2.1 Bexleyheath is on the eastern outskirts of London, 18km from the centre and 6 miles from Dartford with the site located on the southern side of Broadway (A207). The site is currently two commercial units located in a single storey element fronting the road with a sloping roof with a two-storey building behind and a single storey extension at the rear. At the rear of the Site is a warehouse. Either side are other commercial properties at ground level, residential above and the main shopping centre to Bexley heath is further eastwards. Southwards of the site are residential plots and a warehouse accessed from Lion Road, off Broadway to the east. The site is 0.057 hectares on level ground at 49m aOD (Fig. 1).

Geology

1.2.2 The British Geological Society (BGS 1995) shows that the local geology at the PDA consists of bedrock comprising of Harwich Formation – Sand and Gravel. There are no recorded superficial deposits.

Geotechnical Information

1.2.3 A borehole circa 80m to the east (BGS- TQ47NE433) in 1976 identified 0.75m of made ground with very dense coarse rounded pebble gravel with a little brown sand below with the borehole reaching a depth of 3.7m.

1.3 The Proposed Development

1.3.1 The development is to support a planning application for demolition of the existing buildings on the site to be replaced with a single building comprising of one commercial unit and a single residential unit on the ground floor with a further 8 residential units on the upper three floors (Fig. 2).

- 1.3.2 A planning application is in progress (20/03271/FUL). Historic England (Mark Stevenson) has requested further information in the form of an archaeological desk-based assessment given that the Site is located within a Tier 2 Archaeological Priority Area representing the line of the former Roman Road of Watling Street. The report is to set out the significance of the Site and the impact of the proposed development.

1.4 Project Constraints

- 1.4.1 No constraints were associated with this project.

1.5 Scope of Document

- 1.5.1 This assessment was requested by the Client in order to determine, as far as is possible from existing information, the nature, extent and significance of the Historic Environment and to assess the potential impact of development on Heritage Assets. The assessment forms part of the initial stages of the archaeological investigation and is intended to inform and assist with decisions regarding archaeological mitigation for the proposed development and associated planning applications.

2 PLANNING BACKGROUND

2.1 Introduction

2.1.1 National legislation and guidance relating to the protection of, and proposed development on or near, important archaeological sites or historical buildings within planning regulations is defined under the provisions of the Town and Country Planning Act 1990. In addition, local authorities are responsible for the protection of the historic environment within the planning system and ensure that a Heritage Asset is protected to enable it to be passed on to future generations.

2.1.2 Statutory protection is also provided to certain classes of designated heritage assets under the following legislation:

- Planning (Listed Buildings and Conservation Areas) Act 1990;
- Ancient Monuments and Archaeological Areas Act 1979; and
- Hedgerow Regulations (statutory Instrument No. 1160) 1997
- Treasures Act 1996
- Burial Act 1857.

2.2 National Planning Policy Framework (NPPF)

2.2.1 The Historic Environment, as defined in the National Planning Policy Framework (NPPF 2021): Annex 2, comprises:

‘All aspects of the environment resulting from the interaction between people and places through time, including all surviving physical remains of past human activity, whether visible, buried or submerged, and landscaped and planted or managed flora.’

2.2.2 NPPF Annex 2 defines a Heritage Asset as:

‘A building monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its

heritage interest. It includes designated heritage assets and assets identified by the local planning authority (including local listing)'.

2.2.3 NPPF Section 16: Conserving and enhancing the historic environment sets out the principal national guidance on the importance, management and safeguarding of heritage assets within the planning process. The aim of NPPF Section 16 is to ensure that Local Planning Authorities, developers, and owners of heritage assets adopt a consistent approach to their conservation and to reduce complexity in planning policy relating to proposals that affect them.

2.2.4 Paragraph 190 of the NPPF states that:

'Plans should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. This strategy should take into account:

a) The desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation;

b) The wider social, cultural, economic, and environmental benefits that conservation of the historic environment can bring;

c) The desirability of new development making a positive contribution to local character and distinctiveness; and

d) Opportunities to draw on the contribution made by the historic environment to the character of a place.'

2.2.5 Paragraph 194 of the NPPF states that:

'In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include, heritage assets

with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.'

2.2.6 Paragraph 195 of the NPPF states that:

'Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account to the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal.'

2.2.7 The NPPF, Section 16, therefore provides the guidance to which local authorities need to refer when setting out a strategy for the conservation and enjoyment of the historic environment in their Local Plans. It is noted within this, that heritage assets should be conserved in a manner appropriate to their significance.

2.2.8 The NPPF further provides definitions of terms in the glossary which relate to the historic environment in order to clarify the policy guidance given. For the purposes of this report, the following are important to note:

- **'Significance (for heritage policy).** *The value of a heritage asset to this and future generations because of its heritage interest. This interest may be archaeological, architectural, artistic, or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting. For World Heritage Sites, the cultural value described within each site's Statement of Outstanding Universal Value forms part of its significance'.*
- **'Setting of a heritage asset.** *The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral'.*

2.2.9 The NPPF advises local authorities to take into account the following points in paragraph 197 when drawing up strategies for the conservation and enjoyment of the historic environment;

'a) the desirability of sustaining and enhancing the significance of heritage assets and preserving them to viable uses consistent with their conservation;

b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and

c) the desirability of new development in making a positive contribution to local character and distinctiveness'.

2.2.10 Paragraphs 199 and 204 consider the impact of a proposed development upon the significance of a heritage asset.

2.2.11 Paragraph 199 emphasises that when a new development is proposed, *'great weight should be given to the asset's conservation (and that the more important the asset, the greater this weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance'.*

2.2.12 Paragraph 200 notes that:

'Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:

a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional;

b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional'.*

2.2.13 Paragraph 201 states that:

'Where a proposed development will lead to substantial harm (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a) the nature of the heritage asset prevents all reasonable uses of the site; and*
- b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and*
- c) conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and*
- d) the harm or loss is outweighed by the benefit of bringing the site back into use.'*

2.2.14 Conversely, paragraph 202 notes that 'where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use'.

2.2.15 The NPPF comments in paragraph 207, proffers that 'not all elements of a Conservation Area or World Heritage Site will necessarily contribute to its significance. Loss of a building (or other element) which makes a positive contribution to the significance of the Conservation Area or World Heritage Site should be treated either as substantial harm under paragraph 201 or less than substantial harm under paragraph 202, as appropriate, taking into account the relative significance of the element affected and its contribution to the significance of the Conservation Area or World Heritage Site as a whole'.

2.2.16 Paragraph 204 states that '*Local Planning Authorities should not permit the loss of the whole or part of a heritage asset without taking all reasonable steps to ensure the new development will proceed after the loss has occurred*'.

2.2.17 Paragraph 206 encourages Local Planning Authorities to '*look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance.*

Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably’.

2.2.18 Any LPA based on paragraph 208, ‘should assess whether the benefits of a proposal for enabling development, which would otherwise conflict with planning policies, but which would secure the future conservation of a heritage asset, outweigh the disbenefits of departing from those policies’.

2.3 Local Policies

2.3.1 The Local Planning Authorities are obliged by the government to articulate their future planning and policy objectives in a portfolio of strategic planning documents, the Local Development Framework (LDF). Within each LDF, the primary document is the Core Strategy, which sets out long-term visions for the planning authority and how these are to be achieved, in the form of policy guidance. The Core Strategy, in turn, is supported by a suite of supporting documents and evidence-based reports, including detailed policies and sites local plans.

2.3.2 The Bexley Core Strategy was formally adopted on 22nd February 2012. The relevant policy is found within Chapter 4, ‘Managing the built and natural environment.’

Policy CS19: Heritage and Archaeology

2.3.3 The Council will manage its heritage and archaeological assets, whilst seeking opportunities to make the most of these assets, including adapting to and mitigating the effects of climate change. This will enhance the local sense of place and underpin the revitalization and development of the borough, including promoting the visitor economy. This will be achieved by:

a) Promoting the borough’s heritage assets, such as Danson house, Hall Place and Gardens, Crossness Beam Engine House and Red House;

b) Reviewing the status of existing and identifying new heritage and archaeological assets;

- c) Conserving and enhancing the significance of heritage assets, their setting, and buildings of architectural or historic interest, conservation areas, registered parks, and gardens, and archaeological sites;
- d) Protecting heritage assets from development that is likely to adversely impact on the significance, integrity, character, or appearance of an asset or its setting;
- e) Support historic regeneration schemes through partnership working and seeking funding to enhance heritage and archaeological assets in an appropriate and sympathetic manner, and;
- f) Retaining, in situ, archaeological evidence within sites, wherever possible. Where archaeological evidence cannot be retained, the appropriate levels of archaeological investigation and recording should be undertaken prior to the redevelopment of the site.

Current Policies in the Unitary Development Plan (UDP)

- 2.3.4 The Unitary Development Plan (UDP) preceded the Core Strategy. It was adopted on 28 April 2004 but some policies expired in 2007. Following the adoption of the Core Strategy in 2012, some UDP policies were replaced. However, these policies regarding heritage still apply.

Policy ENV22 – Heritage Land

- 2.3.5 The Council will protect the individual quality and character of and promote access to the areas of heritage land.
- 2.3.6 Heritage land comprises primarily open areas of land of particular strategic importance to London, being a combination of areas of nature conservation, high landscape quality and historic importance, often including opportunities for outdoor recreation. The quality and character of these areas are deserving of protection and enhancement, both for local residents and visitors.
- 2.3.7 The Thames Estuary marshes provide views of the tidal Thames from the sea walls, relics of low-lying grazing marsh dissected by a network of drainage dykes, and the vast, flat, treeless grassland landscape of the Thames-side marshes.
- 2.3.8 Shooters Hill Ridge offers wood-clad high ground at Shooters Hill and Lesnes Abbey, historic parks and gardens at Eltham Palace and remains of a 12th Century

Augustinian Abbey at Lesnes. The area is also characterised by large tracts of ancient oak woodland, surviving remnants of the once extensive southeast London heathlands, open grassland, and secondary woodland.

- 2.3.9 The Cray Valley is characterised by attractive valley landscape along the River Cray where networks of lanes, copses and rolling hills provide a good example of Development of land at 175 Bellegrove Road, Welling Archaeological Desk-Based Assessment 15 traditional countryside. There are also ornamental grounds at Hall Place and Foots Cray Meadows.

Policy ENV56

- 2.3.10 In Areas of Archaeological Search and other areas where finds are likely to occur and in certain historic standing buildings where development proposals may affect archaeological remains or historical evidence, the Council will expect applicants to have properly assessed and planned for the archaeological implications. The Council may require a preliminary archaeological site evaluation before proposals are considered.

Policy ENV57

- 2.3.11 2.4.17 Where sites of archaeological significance or potential are discovered the Council will seek to ensure that:
- 2.3.12 the most important archaeological remains and their settings are preserved in situ (if appropriate for public access and display) and that where appropriate they are given statutory protection; and
- 2.3.13 sites not requiring preservation in situ shall be made available for an appropriate level of archaeological investigation and excavation by a recognised archaeological organisation before development begins.

Policy ENV58

- 2.3.14 There will be a presumption against any development, which would adversely affect any scheduled Ancient Monument or other nationally important archaeological sites and monuments and their settings.

Areas of High Archaeology Potential – Area 9: Watling Street

2.3.15 The London Borough of Bexley has identified a number of Areas of High Archaeology Potential. The PDA sits within one of these areas (Fig.17). Area 9 of High Archaeological Potential captures the area along the Roman Watling Street from Shooters Hill heading eastwards towards Dover. The route of Watling Street was formalised in the 1st century AD, and was the major route from Dover to St Albans and further north. There are often settlements and other roadside activity associated with Roman roads.

2.3.16 Watling Street is of certain regional, and perhaps national, importance. It was a major transport link in the Roman period, running from Dover to the north. Potential research topics include:

1. Investigation and understanding of any pre-Roman activity associated with an earlier trackway or route. Can a definite antecedent to Watling Street be identified?

2. Further investigation and understanding of Roman Watling Street. Can the road or associated roadside ditches be identified in excavation, and if so, what is its nature? Can the route of Roman Watling Street be better defined? Are there any deviations in the route, and if so, why?

3. Further investigation and understanding of later activity associated with the road, including roadside coaching inns catering to the passing trade, and the growth of the settlements of Welling and Bexleyheath.

3 AIMS AND OBJECTIVES

3.1 Introduction

3.1.1 This Desk-Based Assessment was commissioned by Handf Finance Ltd to support a planning application. This assessment has been prepared in accordance with guidelines set out by the Chartered Institute for Archaeologists (see below) and in the National Planning Policy Framework and the Good Practice Advice notes 1, 2 and 3, which now supersede the PPS 5 Practice Guide, which has been withdrawn by the Government.

3.1.2 This Desk-Based Assessment therefore forms the initial stage of the archaeological investigation and is intended to inform and assist in decisions regarding archaeological mitigation for the development and associated planning applications.

3.2 Desk-Based Assessment – Chartered Institute for Archaeologists (2017)

3.2.1 This desktop study has been produced in line with archaeological standards, as defined by the Chartered Institute for Archaeologists (2014, revised 2017). A desktop, or desk-based assessment, is defined as being:

‘Desk-based assessment will determine, as far as is reasonably possible from existing records, the nature, extent and significance of the historic environment within a specified area. Desk-based assessment will be undertaken using appropriate methods and practices which satisfy the stated aims of the project, and which comply with the Code of conduct and other relevant regulations of ClfA. In a development context desk-based assessment will establish the impact of the proposed development on the significance of the historic environment (or will identify the need for further evaluation to do so) and will enable reasoned proposals and decisions to be made whether to mitigate, offset or accept without further intervention that impact.’

(2017:4)

3.2.2 The purpose of the desk-based assessment is, therefore, an assessment that provides a contextual archaeological record, in order to provide:

- *an assessment of the potential for heritage assets to survive within the area of study.*
- *an assessment of the significance of the known or predicted heritage assets considering, in England, their archaeological, historic, architectural, and artistic interests.*
- *strategies for further evaluation whether or not intrusive, where the nature, extent or significance of the resource is not sufficiently well defined.*
- *an assessment of the impact of proposed development or other land use changes on the significance of the heritage assets and their settings*
- *strategies to conserve the significance of heritage assets, and their settings.*
- *design strategies to ensure new development makes a positive contribution to the character and local distinctiveness of the historic environment and local place-shaping.*
- *proposals for further archaeological investigation within a programme of research, whether undertaken in response to a threat or not.*

CIFA (2017:4)

4 METHODOLOGY

4.1 Introduction

- 4.1.1 The methodology employed during this assessment has been based upon relevant professional guidance including the Chartered Institute for Archaeologists' *Standard and guidance for historic environment desk-based assessment* (CIfA, 2017).

4.2 Sources

- 4.2.1 A number of publicly accessible sources were consulted prior to the preparation of this document.

Archaeological databases

- 4.2.2 Although it is recognised that national databases are an appropriate resource for this particular type of assessment, the local Historic Environmental Record held for Greater London (GLHER) contains sufficient data to provide an accurate insight into catalogued sites and finds within both the proposed development area and the surrounding landscape.
- 4.2.3 The National Heritage List for England (NHLE), which is the only official and up to date database of all nationally designated heritage assets and is the preferred archive for a comprehensive HER search.
- 4.2.4 The Archaeology Data Service Online Catalogue (ADS) was also used. The search was carried out within a 1km radius of the proposed development site and relevant HER data is included in the report. The Portable Antiquities Scheme Database (PAS) was also searched as an additional source as the information contained within is not always transferred to the local HER.

Cartographic and Pictorial Documents

- 4.2.5 A full map regression exercise has been incorporated within this assessment. Research was carried out using resources offered by the internet, Ordnance Survey, and the relevant Archaeological and history Societies. A full listing of bibliographic and cartographic documents used in this study is provided in Section 9.

Aerial photographs

- 4.2.6 The study of the collection of aerial photographs held by Google Earth was undertaken (Plates 1-4).

Secondary and Statutory Resources

- 4.2.7 Secondary and statutory sources, such as regional and periodic archaeological studies, archaeological reports associated with development control, landscape studies, dissertations and research frameworks are considered appropriate to this type of study and have been included within this assessment.
- 4.2.8 MOLAS has provided a number of research topics for the Greater London Area in 'A Research Framework for London Archaeology'. This has three main aims of which relevant to this project is the 'management of archaeological resource' and to 'facilitate better focused archaeological research.' Of focus to our side is the research policy of the origin of the Roman road system as well as determining if there is any roadside activity of settlement here.

5 ARCHAEOLOGICAL AND HISTORICAL DEVELOPMENT

5.1 Introduction

5.1.1 This section of the assessment will focus on the archaeological and historical development of this area, placing it within a local context. Each period classification will provide a brief introduction to the wider landscape (500m radius from the PDA boundaries), followed by a full record of archaeological sites, monuments, and records within the site’s immediate vicinity. There are no Scheduled Monuments, Registered Parks and Gardens, Historic Parks and Gardens or Protected Military Remains in the search area. Time scales for archaeological periods represented in the report are listed in Table 1.

Prehistoric	Palaeolithic	c. 500,000 BC – c.10,000 BC
	Mesolithic	c.10,000 BC – c. 4,300 BC
	Neolithic	c. 4,300 BC – c. 2,300 BC
	Bronze Age	c. 2,300 BC – c. 600 BC
	Iron Age	c. 600 BC – c. AD 43
Romano-British		c. AD 43 – c. AD 410
Anglo-Saxon		AD 410 – AD 1066
Medieval		AD 1066 – AD 1485
Post-medieval		AD 1485 – AD 1900
Modern		AD 1901 – present day
Table 1: Classification of Archaeological periods		

5.1.2 The GLHER records within the 500m study area are sparse and dominated by Locally Listed building records from the late Post Medieval period onwards. The PDA resides in an Archaeological High Priority Area of the Watling Street Roman Road The table in Figure 14 details all the current GLHER data in the study area.

5.2 Designated Heritage Assets

5.2.1 One of the tasks is to identify any designated heritage assets within the wider context of the PDA in accordance with The Setting of Heritage Assets – English Heritage Guidance (English Heritage 2011).

5.2.2 This guidance states that “setting embraces all of the surroundings (land, sea, structures, features and skyline) from which the heritage asset can be

experienced or that can be experienced from or with the asset” (The Setting of Heritage Assets, English Heritage 2011).

- 5.2.3 There are a total of 8 Listed Building and 36 Locally Listed Buildings located in all directions. They are a mixture of Post Medieval and Modern in date. There are two buildings of which are within 100m of the PDA. Opposite the PDA is the 1902 built Golden Lion public House on the site of earlier public house building. Circa 70m to the east is the Locally Listed Building at 269 Broadway that was a 19th century bank.

5.3 Previous Archaeological Works

- 5.3.1 The GLHER database only shows a small number of intrusive excavations within the assessment area of which are detailed below and shown in Figure 14. Due to the urbanisation that has occurred there has been little by way of any archaeological finds and features.

5.4 Archaeological and Historical Narrative

- 5.4.1 In the wider area around Bexleyheath, evidence of the Prehistoric period is rare. There is a small scattering of prehistoric material recovered from within the Area of High Archaeological Potential. Numerous finds of tools and flint flakes dating to the Palaeolithic, Mesolithic, Neolithic periods have been discovered within the area of Bexley. Circa 2km to the east in the Cray Valley area there is Prehistoric activity of national significance. This includes two pits of Late Bronze Age date containing domestic pottery found on Churchfield Road and a further two pits of a similar date on Welling High Street, east of Embassy Court.
- 5.4.2 A large Iron Age settlement was located at Crayford. Dominating the area in this period would have been the hillfort at Keston, south of the PDA, known as Caesar’s Camp, which lies to the west of the Upper Cray Valley and is considered to have covered territory as far north as the Thames and the Upper Cray Valley, as well as the Ravensbourne Valley so likely to cover the area around the PDA.

- 5.4.3 The PDA sits alongside the Roman road of Watling Street being one of the main thoroughfares from London all the way to Dover. Romans are known for their roadside activities. The structure of Roman roads varied greatly, but a typical form was an agger, or bank, forming the road's core, built of layers of stone or gravel (depending on what was available locally). In areas of soft ground, the road might be built over timber piles and layers of brushwood. The core of the agger would be covered with a layer of larger stones, if available, with the upper surface being formed from layers of smaller stones or gravel. The full 'road zone' could be defined by ditches set some distance from the road, providing drainage and possibly space for pedestrians and animals. The width of roads varied from about 5 metres to more than 10 metres. The original Anglo-Saxon name for the section of the route between Canterbury and London was 'Casingc Stræt' or Key Street. This section only later became considered part of Watling Street.
- 5.4.4 A Roman settlement is known to have been to the west in the area around Welling High Street. Roman Cemeteries have also been found in nearby Crayford to the east, which also had a sizeable Roman fortification and was called Noviomagus Cantiacorum - The New Market [of the Cantiaci].
- 5.4.5 The name Bexleyheath is a recent one. It takes its name from Bexley, to the south. Bexley means Box tree clearing, in Old English '*byxe leah*'. Old Bexley to the south evolved during the 5th century from a crossing point along the River Cray and by the time of the Domesday survey it had grown to a population of 41 villagers, 15 smallholders and 100 pigs and was under the ownership of Wilfred, Archbishop of Canterbury, remaining so until Archbishop Cranmer granted it to Henry VIII.
- 5.4.6 The Manor was given by King James I to his Jeweller, Sir John Spilman and following his disposal of it to William Camden it passed to the University of Oxford. Bexley continued to develop as a popular area for the wealthy and before the arrival of the railway it consisted of several large estates, farmland, and small hamlets.
- 5.4.7 Bexleyheath began its life as a tract of rough open land which was unfit for cultivation and was considered a wild and deserted place. The marshland of the Thames Estuary was to the north. In 1782 sections of the Roman Road were still

visible. No evidence of Roman settlement has been found but small finds of coins, jewellery and a burial urn have been uncovered. The Medieval period saw the route used by pilgrims making their way to Canterbury Cathedral and the tomb of Thomas Becket and in the Peasants Revolt of 1381 it bought thousands of rebels to Blackheath.

5.4.8 The Heath became a military station during the civil war of 1642-1651 and a busy staging post, which by the 18th century catered for up to 70 stagecoaches per day. Due to its position within the Heath and nestled among woods, it developed a bad reputation for Highwaymen. Just to the north of the PDA on the opposite side of the road was the 18th century coaching Inn 'The Golden Lion' which was used by local magistrates for their petty sessions.

5.4.9 During the 18th century, the Heath became populated by the poor, who constructed small shacks and made a living from labouring and making brooms for the local broom plant. They becoming known as 'Broom-dashers' and were recorded in Parish records as 'sojourners'. The heath grew into a shantytown and the local property owners applied to Parliament for an Act authorizing the enclosure of the Heath. The act was passed in 1814 and the Heath was partitioned and shared among the local property owners. In 1821 this was developed into Bexley Heath New Town a number of fashionable houses were built along the road, some of which still survive. The form of the settlement following the Roman route of Watling Street parts of the Heath were used for the cultivation of cereals and fruits, particularly soft fruits such as strawberries and glass houses were constructed for the production of flowers. The produce was sent to London by road and later by railway and parts of the Heath remained farmland until the 1930's.

5.5 Cartographic Sources and Map Regression

Andrews, Dury and Herbert map of 1769

5.5.1 Andrews, Dury and Herbert published their atlas some thirty years before the Ordnance Survey, immediately becoming the best large-scale maps of the county. The PDA is located on the southern side of the trackway through Bexley Heath. Old Bexley is to the south (Fig. 3).

Ordnance Surveyors Drawings 1797

- 5.5.2 The maps from this series shows the individual buildings and field boundaries. The area around the PDA remains heathland (Fig.4).

Bexley Tithe Map from 1839

- 5.5.3 The PDA forms part of fields designated 368 which is owned by Ann Mann and occupied by John Louis Bell. The field has no name and is recorded as arable. Located immediately opposite is the site of the Golden Lion public House. To the east it can be seen that a ribbon development has started with the creation of a settlement in Bexley Heath (Fig.5).

Historic OS Map 1865

- 5.5.4 This is the first properly scaled OS map. There appears no change at the PDA. However, around there are now a few more residential plots located along Watling Street (Fig 6).

Historic OS map 1897

- 5.5.5 There have been a number of changes. Bexleyheath has grown enormously not just along the main road but also with housing estates. To the east there is evidence that part of the area at least supported the nursery and market garden trade in Bexleyheath. At the PDA the plot boundaries have been set for the first time. There is evidence that there is now a detached house set back off the road. Immediately east is a row of terraces. The plot immediately west appears vacant. At the south part of the PDA is an outbuilding (Fig.7).

Historic OS map 1909

- 5.5.6 There appears little change to the building at the PDA except for a conservatory located on the southern side of the building and a small extension in the south western corner of the building. At the southern end of the plot, there now appears to be an additional outbuilding on an east-west axis. Immediately west the plot now has a semidetached house. These houses to the west are set back from the road suggesting that they had front gardens and are residential whilst those immediately east are located on the roadside and may be commercial (Fig.8).

Historic OS map 1933

- 5.5.7 The only change to the PDA appears at the southern end with a small square outbuilding attached to the exiting outbuilding (Fig.9).

Historic OS Map 1960

- 5.5.8 There appears that there have been changes to the building at the northern end. The building has completely changed footprint and is now showing as a square building completely filling the width of the plot with an open sided outbuilding attached at the rear. It is not clear if the original building has been demolished or that it has simply been absorbed into the new footprint. At the southern end there is now only a single outbuilding labelled 'depot' (Fig.10)

Historical OS Map 1973-78

- 5.5.9 The PDA has been labelled as a timber yard. The main building at the northern end has been extended on the southern side. Adjacent to the depot on its eastern side outside of the PDA is a large new outbuilding (Fig.11).

Historical OS Map 2003

- 5.5.10 There has been changes to the street frontage of the building at the northern end where the northern building has been extended northwards up to the PDA boundary line and now has a street frontage level with those buildings immediately eastwards (Fig.12)

5.6 Aerial Photographs

1940s

- 5.6.1 This is a poor resolution photograph. The roof of the original house can be made out and there appears an extension on the western side. At the front of the house there appears to be a patch of grass and a path from the pavement. The houses to the west are similar, although these appear to be residential. Those to the east are located further forward directly on the pavement. In the south western corner can be made out a building. And in between the photo is unclear (Plate 1).

2003

- 5.6.2 This photograph is much clearer. The northern part of the PDA has now been extended with a single storey extension so that the front of the building is directly

on the pavement. Planning applications show that permission for this was granted in 1994. The roof of the original house can be seen, and this has been wrapped on the northern and western side by a flat roofed two storey extensions. At the rear of the original house and e2 storey extension covering the width of the PDA is a large single storey covered storage area. At the south western corner is an outbuilding but this is on a larger footprint than that seen in the 1940s aerial photograph. Between this building at the covered storage area is a yard area which also has a number of other storage areas located on its boundaries so that almost the entire area is covered. Adjacent to the south eastern part of the PDA is a larger building (Plate 2).

2010

- 5.6.3 There is little change except for the removal of the smaller storage buildings in the central yard area. Planning applications show that the land at the rear was used for scrap metal recycling (Plate 3).

2021

- 5.6.4 There is little change at the PDA except for roof light placed on the flat roofed two storey extension on the western side. (Plate 4).

5.7 Site Assessment

- 5.7.1 The site assessment is not intended as a detailed survey but the rapid identification of archaeological features and any evidence for buried archaeology in the form of surface scatters of lithic or pottery artefacts. The survey was undertaken on the 7th of September 2021. No artefacts or archaeological features were identified (Plates 5-11).
- 5.7.2 The majority of the PDA is currently built on. From The Broadway the property is split into two with a sloping single storey extension added to the front of the original house which can just be seen from the road. Between the single storey front extension is a brick built split level two storey flat roof extension. At the rear of the original house and the two-storey side extension is a modern covered storage area the width of the PDA that is metal framed (Plate) with concreted

floors. This replaces the earlier extensions seen in this area based on the historical mapping.

- 5.7.3 As well as going through the building. Access to the rear of the front buildings can currently be obtained via Lion Road. In between existing buildings. However, access is through a large modern depot building, which lies adjacent to the red line boundary of the development area.
- 5.7.4 Plate 8 shows the single-story depot building within the PDA at the south western corner. This is brick built and has been extended at the northern end. This leads into a 'L' shaped concrete yard area. The eastern and western boundaries are modern breeze block walls topped with barbed wire. The rear of the single storey metal framed extension is clad in metal as well.

5.8 Summary of Potential

Prehistoric

- 5.8.1 The Palaeolithic period represents the earliest phases of human activity in the British Isles, up to the end of the last Ice Age. The Mesolithic period reflects a society of hunter-gatherers active after the last Ice Age. The Neolithic period was the beginning of a sedentary lifestyle based on agriculture and animal husbandry. The Bronze Age was a period of large migrations from the continent and more complex social developments on a domestic, industrial, and ceremonial level. The Iron Age is, by definition a period of established rural farming communities with extensive field systems and large 'urban' centres (the Iron Age 'Tribal capital' or civitas of the Cantiaci).
- 5.8.2 The GLHER has only one record for the Prehistoric period being that of an unidentified bronze casting object found circa 250m east of the PDA (MLO10941). Therefore, the potential for finding remains that date to this period is considered to be **low**.

Romano-British

- 5.8.3 The Romano-British period is the term given to the Romanised culture of Britain under the rule of the Roman Empire, following the Claudian invasion in AD 43, Britain then formed part of the Roman Empire for nearly 400 years. The GLHER

has no records from this period within the assessment. However, the PDA lies within the AHAP for Roman Watling Street, which covers area either side of the current road to ensure that any roadside activity is picked up. As there has been no direct evidence uncovered for the precise route a HER moment record has not been created. It is likely that traces of the Roman Road due to urbanisation has led to the destruction of any evidence of it since Hasted mentioned that it was still visible in his time at the late 18th century at Bexleyheath and through nearby Welling. The area of the PDA lays outside the Roman Settlement area in Welling and the main focus in this area for the Romans in this period would have been towards nearby Crayford and the Darent Valley. Due to the proximity to the road, the potential for finding remains that date to this period within the confines of the development site is considered **high** and any findings regarding the road or activity would have regional and high significance.

Anglo-Saxon

- 5.8.4 The GLHER has no records from this period within the assessment area. The potential for finding remains that date to this period within the confines of the development site is considered **low**.

Medieval

- 5.8.5 The GLHER has no records from this period within the assessment area. Documentary evidence refers to the existence of Bexley by this period, the core of which is focused to the south, outside of the assessment area. Historical mapping suggests that the PDA was on the rural hinterland in the Post Medieval period as heathland and it is likely that this applies to the Medieval period. The potential for finding remains that date to this period is considered **low**.

Post Medieval

- 5.8.6 This is by far the largest category. The GLHER has 45 records from this period within the assessment area, with eight of those as listed buildings. In addition, there are 24 Locally Listed Buildings. All reflecting the enormous growth seen in Bexleyheath during this period. During the earlier part of the Post Medieval period the area would have been cleared and used for agriculture and market gardening until the arrival of residential plots adjacent to the road. Historical mapping informs us that by the end of the 19th century, a detached house was

built set slightly back from the road at the PDA and an outbuilding built at the southern part of the plot. The original house and the outbuildings are extent. Nearby excavations have revealed the presence of possible field boundaries (MLO72937) and features such as wells (MLO75266), the possibility of which cannot be discounted. Any finds or features concerning this period would be of local and low significance. Therefore, the potential for finding remains that date to this period is considered **high**.

Modern

5.8.7 GLHER has just one record dating to this period being the brick footings of a greenhouse or cold frame (MLO99321). Historical mappings inform us that the house was extended numerous times throughout the 20th century and with outbuildings coming and going to the rear of the house means it is possible that underneath the more modern extensions, that earlier footings may survive. Any finds or features concerning this period would be of local and low significance. Therefore, the potential for finding remains dating to this period in the PDA is considered **high**.

Overview

5.8.8 This desk-based assessment has considered the archaeological potential of the site, but this potential can only be tested by fieldwork. The desk-based assessment has considered the archaeological potential of the site. Archaeological investigations in the vicinity, map research, the historical environment record results and recent archaeological investigations have shown that the PDA may contain archaeological sites, and these can be summarised as:

- Prehistoric: **low**

- Iron Age: **low**

- Roman: **high**

- Anglo-Saxon: **low**

- Medieval: **low**

- Post-Medieval: **high**

- Modern: **high**

6 IMPACT ASSESSMENT

6.1 Introduction

6.1.1 Cartographic Regression, Topographical Analysis, and Historic Research have provided evidence for the historic use of the site. By collating this information, we have assessed the impact on previous archaeological remains through the following method of categorisation:

- **Total Impact** - Where the area has undergone a destructive process to a depth that would in all probability have destroyed any archaeological remains e.g., construction, mining, quarrying, archaeological evaluations etc.
- **High Impact** – Where the ground level has been reduced to below natural geographical levels that would leave archaeological remains partly in situ either in plan or section e.g., the construction of roads, railways, buildings, strip foundations etc.
- **Medium Impact** – Where there has been low level or random disturbance of the ground that would result in the survival of archaeological remains in areas undisturbed e.g., the installation of services, pad-stone or piled foundations, temporary structures etc.
- **Low Impact** – Where the ground has been penetrated to a very low level e.g., farming, landscaping, slab foundation etc.

6.2 Historic Impacts

6.2.1 Cartographic regression (5.5), Topographic analysis (1.2) and Historical research (5.4) indicate that the PDA was part of heathlands until the Post Medieval period where it then became agricultural and by the end of the 19th century due to the expansions of Bexleyheath, initially as a ribbon development along Watling Street, a detached house and outbuilding was built within the PDA. Through the 20th century, the house was extended a number of times and converted to commercial use. The house extensions have been demolished and replaced a number of times and many outbuildings have come and gone at the PDA. Consequently, it is considered that there has been a **high** level of disturbance and impact to any potential archaeology at the PDA.

Proposed Impact

- 6.2.2 The proposed development is for the demolition of the existing buildings on the site to be replaced with a single building comprising of one commercial unit and a single residential unit on the ground floor with a further 8 residential units on the upper three floors. The new building will require foundations and associated services. Consequently, the proposed development will have a **high** impact on any potential archaeology.

7 ARCHAEOLOGICAL MITIGATION

7.1 Introduction

- 7.1.1 The purpose of this archaeological desk-based assessment was to provide an assessment of the contextual archaeological record in order to determine the potential survival of archaeological deposits that may be impacted upon during any proposed construction works.
- 7.1.2 The assessment has generally shown that the area to be developed is within an area of **high** archaeological potential for the Roman periods with the PDA located within an area of High Archaeological Potential in relation to the possible route of a Roman Road, which has regional and high significance. There is also high archaeological potential for the Post Medieval and Modern period in relation to the changes and activities seen at the PDA during these periods, which are of low significance. There is considered to be **low** potential for all other periods. The overall potential for surviving archaeology is considered **low** due to the significant disturbance received to the site with a number of extensions and outbuildings built and demolished. The impact of the proposed development will potentially have a **high** impact on any potential surviving archaeology should it exist. Despite there being a low probability of surviving archaeology, given the PDA is situated in an AHAP due to the Roman road, a programme of archaeological works should be considered. The need for, scale, scope, and nature of any further assessment and/or archaeological works, if any should be agreed through consultation with the statutory authorities but it is recommended for a watching brief.

8 OTHER CONSIDERATIONS

8.1 Archive

- 8.1.1 Subject to any contractual requirements on confidentiality, two copies of this desk-based assessment will be submitted to the LPA and Greater London Council (Heritage) within 6 months of completion.

8.2 Reliability/Limitations of Sources

- 8.2.1 The sources that were used in this assessment were, in general, of high quality. The majority of the information provided herewith has been gained from either published texts or sources held at Greater London Archaeology Advisory Service, and therefore considered as being reliable.

8.3 Copyright

- 8.3.1 Swale & Thames Survey Company and the author shall retain full copyright on the commissioned report under the Copyright, Designs and Patents Act 1988. All rights are reserved, excepting that it hereby provides exclusive licence to Handf Finance Ltd (and representatives) for the use of this document in all matters directly relating to the project.

Paul Wilkinson PhD MCIfA.

SWAT Archaeology

September 2021

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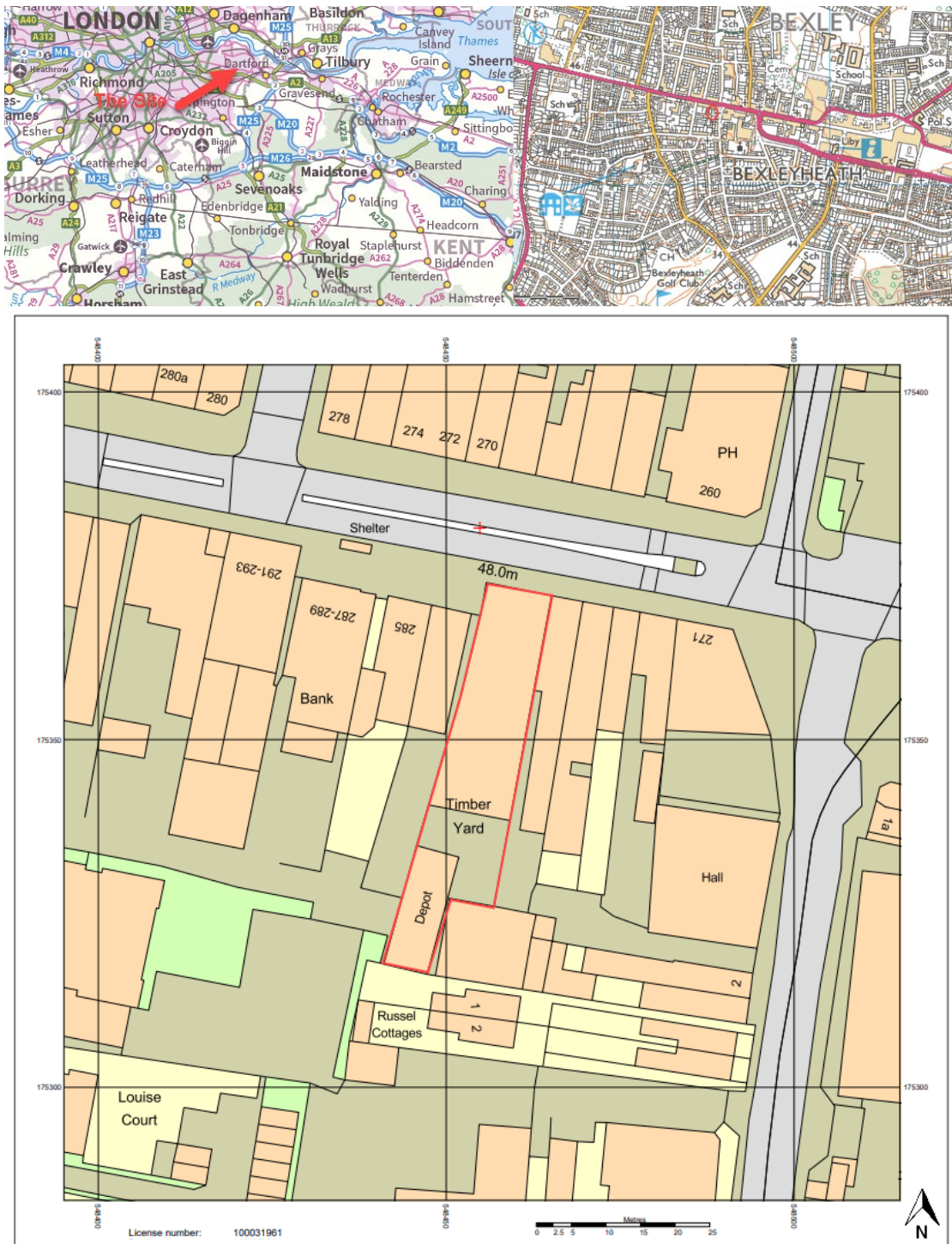


Figure 1: Location Maps, Scale 1:640,000, 1:10,000, 1:1,250



Figure 2: Proposed Development



Figure 3: Andrew, Dury and Herbert Map from 1769



Figure 4: Ordnance Surveyors Drawing, 1797

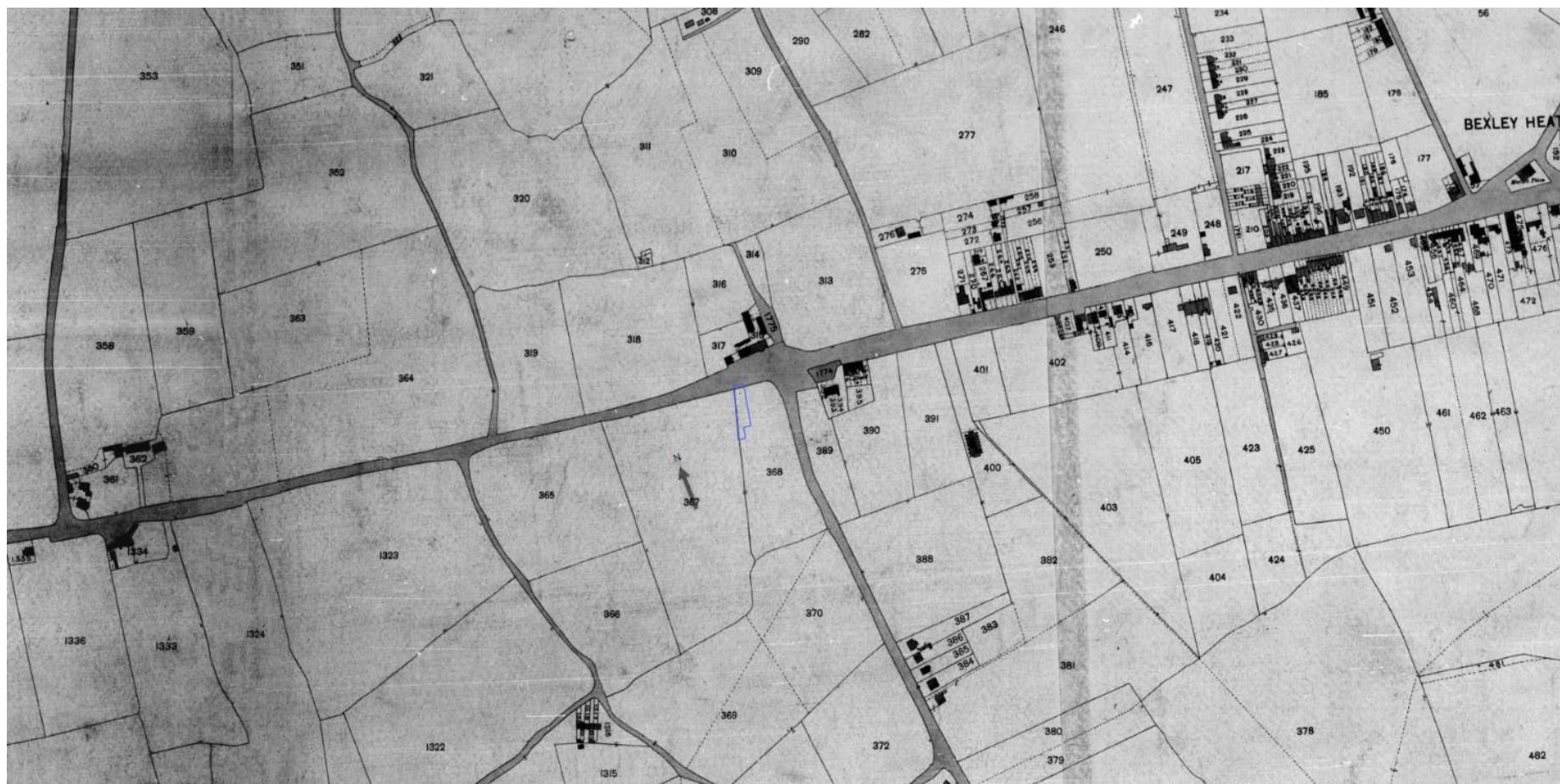


Figure 5: Bexley Tithe Map, 1839

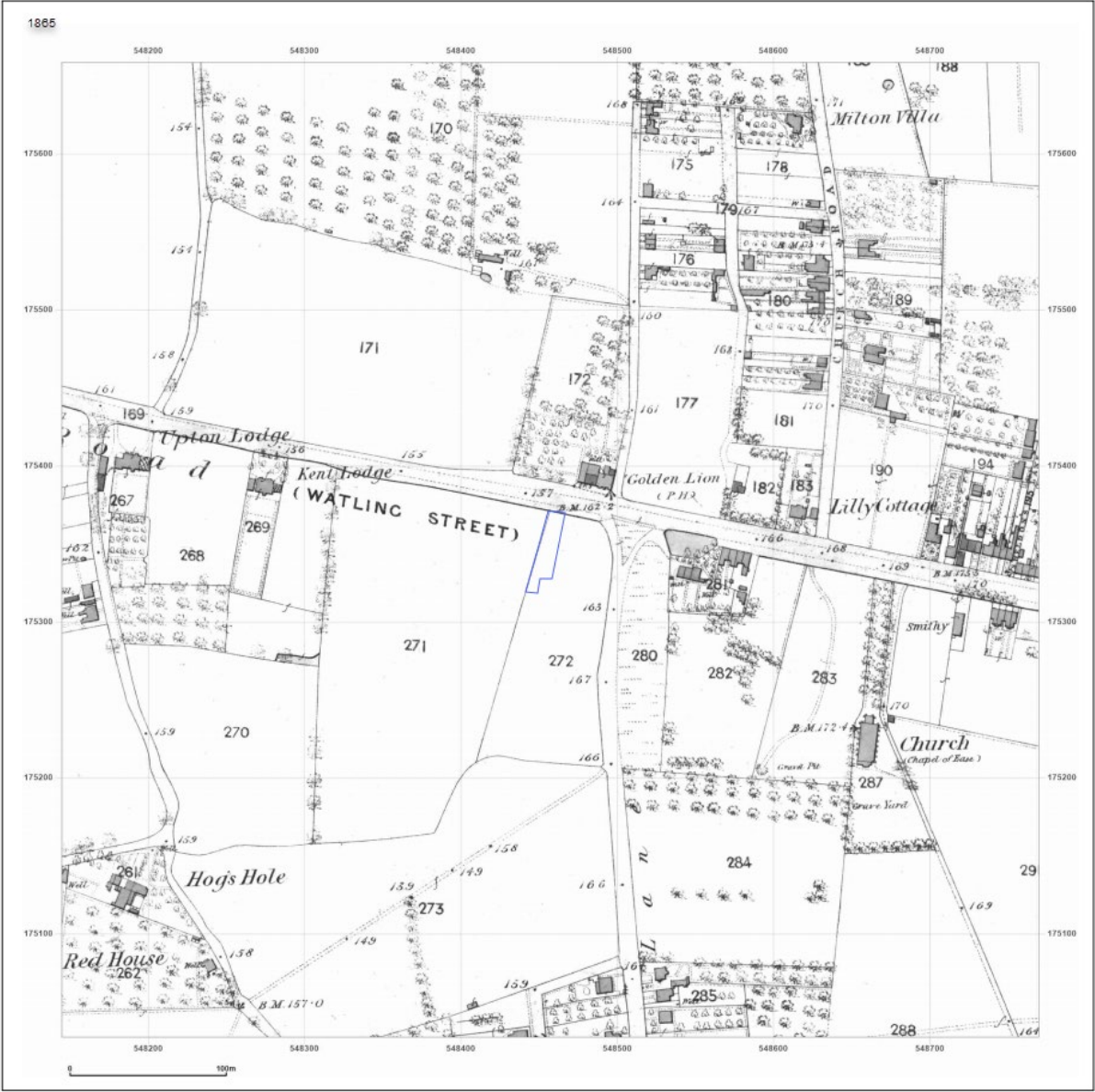


Figure 6: Historic OS Map 1865, scale 1:2,500



Figure 7: Historic OS Map from 1897, scale 1:2,500



Figure 8: Historic OS Map 1909, scale 1:2,500



Figure 9: Historic OS Map 1933, scale 1:2,500



Figure 10: Historic OS Map 1960, scale 1:1,250

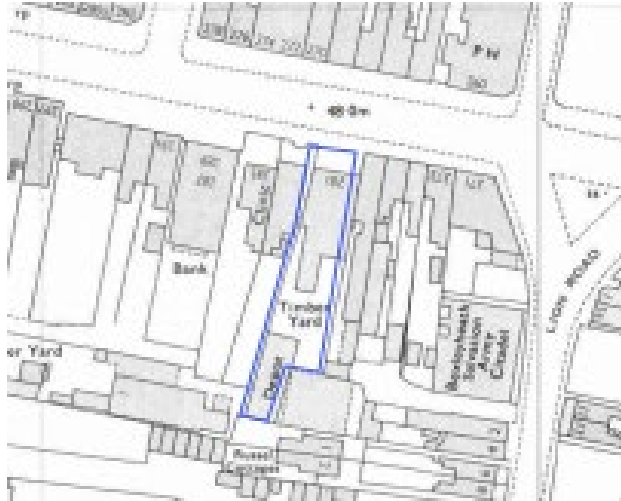


Figure 11: Historic OS Map 1973-78, scale 1:1,250

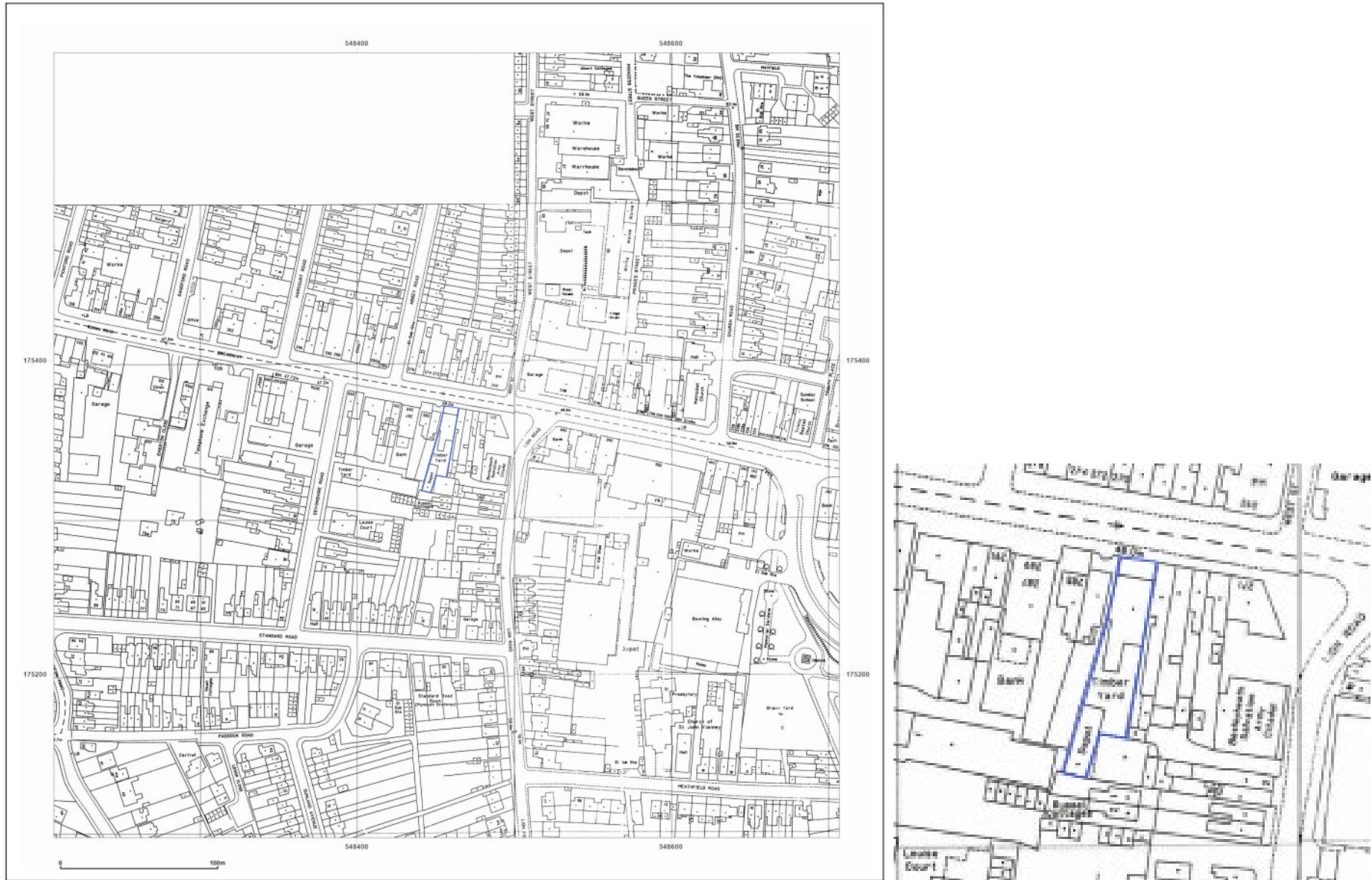


Figure 12: Historic OS Map 1992-95, scale 1:1,250



Figure 13: Historic OS Map 2003, scale 1:1,250

10 APPENDIX 1 – GLHER DATA. DISTANCES ARE TAKEN FROM A CENTRE POINT WITHIN THE PDA.

LLB or HE Listing ID	GLHER ID	Type	Location	Period	Description
	MLO10941	Findspot	c. 250m E	Bronze Age	Bronze Object, poor casting, no other details.
	MLO72937	Monument	c. 165m NNE	Post Medieval	Excavation undertaken by Brian Philp for SELAU, June'96; no site code. Modern disturbance and rubble overlay the site. A Second World War air raid shelter was also observed. A ditch, dated to the 18th century or 19th century was recorded and thought to represent a field boundary. No further periods recorded on site
	MLO75266	Monument	c. 255m ENE	Post Medieval	Watching brief undertaken by SELAU, July - August 1999, no site code. A 19th century soakaway and a brick-lined well were revealed. No further periods recorded on site.
	MLO75267	Monument	c. 260m WNW	Unknown	Evaluation and watching brief undertaken by SELAU, July and November 1999; no site code. A small ditch containing a single flint flake was located. No further periods recorded on site
198715	MLO78476	Listed Building	c. 425m SW	Post Medieval	WELL HEAD TO SOUTH EAST OF RED HOUSE. Grade I (198715). 1859. By Philip Webb. Circular form. Heavy timber construction, supporting a conical tiled roof.
198655	MLO78482	Listed Building	c. 400m E	Victorian	CHRIST CHURCH PARISH CHURCH. Grade II (198655). 1872-77, by William Knight of Nottingham, architect. Cruciform with aisled nave and polygonal apse to chancel; crossing tower incomplete. Ragstone. Lancets to chancel in ornate frames, with nook-shafts, nailhead etc. Plate tracery to clerestory, lancets to aisles, and to transepts with rose over. North and south porches. Lofty interior with wooden roof.
198717	MLO79178	Listed Building	c. 375m SW	Post Medieval	OUTHOUSE TO NORTH EAST OF RED HOUSE. Grade II (198717). 1859. By Philip Webb. Red brick, with steeply pitched tiled roof; hipped at one end. Included for its group value.

198720	MLO79179	Listed Building	c. 295m W	Post Medieval	8 Upton Road. Grade II (198720). Mid-19th century. Said to date from 1856. Cottage ornee. Yellow brick. One storey. Central door with rounded fanlight; to each side, round headed windows, with Gothic intersecting tracery. Hipped thatched roof, with dormer with pointed head and casement. Two yellow brick chimneystacks.
198656	MLO79192	Listed Building	c. 435m E	Post Medieval	CHRIST CHURCH VICARAGE. Grade II (198656). 1868, by Ewan Christian, architect. Two storeys. Yellow brick, with red brick diaper and other decoration. Windows with mullions and transoms. Curved bargeboards to gables. Tile roof. Keeled chimneystacks. Irregular Gothic composition.
196683	MLO79204	Listed Building	c. 415m S	Post Medieval	WYE LODGE. Grade II (198683). Possibly a C17 farm building converted into a house, 19th century additions. To east a gabled, timber-framed, weatherboarded wing with axial stack, one modern window. Central part with projecting canted bay, forming open porch and room over; tile hung. To west a 2-storey one window bay; painted brick with half-hipped roof.
198716	MLO79245	Listed Building	c. 430m WSW	Post Medieval	STREET WALL AND GATEWAY TO NORTH OF RED HOUSE. Grade II (198716). 1859. By Philip Webb. Red brick wall along street frontage. About 7 feet high, with moulded coping. Plain gateway, with wooden gates.
	MLO100927	Building	c. 180m NE	Post Medieval to Modern	20 Church Road is a detached house built in the 1870's and formerly known as Bristol Villa. It has two storeys with basement and attic. The house is constructed from yellow stock brick with rendered front and a single storey extension to rear.
	MLO100928	Building	c. 235m NE	Post Medieval to Modern	45 Church Road is an 1870's detached house with two storeys and basement with attic. It is rendered with a hipped concrete tile roof.
	MLO100955	Building	c. 495m SE	Post Medieval to Modern	The Oaks on Nuxley Road is a late 19th century detached house. The two storeys, two bay house is of L-shape plan in yellow stock brick with red brick details including pillars to hipped ground floor bay.
	MLO107275	Park	c. 345m SW	Post Medieval to Modern	Red House was designed and built by Philip Webb for William Morris in 1859 and represents an important example of Arts and Crafts domestic architecture. Built in an orchard and retaining many of the old trees, Red House and its garden were conceived as a

	MLO66478	Building	c. 335m S	Post Medieval to Modern	29 Lewin Road is a semi-detached house of a mid-19th century date. It is built from yellow stock brick with tiled cills. Hipped concrete tiled roof with central brick stacks and clay pots.
	MLO66479	Building	c. 340m S	Post Medieval to Modern	30 Lewin Road is a semi-detached house of a mid-19th century date. It is built from yellow stock brick with tiled cills. Hipped concrete tiled roof with central brick stacks and clay pots.
	MLO68943	Monument	c. 260m NE	Post Medieval to Modern	Bexleyheath Cemetery was founded by Burial Board in 1876 and opened in 1879. It contains a small chapel in the 14th century style.
	MLO77955	Monument	c. 60m WSW	Post Medieval to Modern	19th century cellars were located at Devonshire Road, Bexleyheath during an evaluation by Compass Archaeology in 2004.
1064203	MLO79177	Listed Building	c. 420m SW	Post Medieval to Modern	Red House. Grade I (1064203) This building was constructed in 1859 by Philip Webb for William Morris, who lived here until 1864. Fixed cupboards, settle and other furnishings with some painted decoration by Burne-Jones and others survived inside from the 1950's.
	MLO99321	Monument	c. 400m SW	Modern	The brick footings of a probable 1920s greenhouse or cold frame was recorded in 2007 after it was revealed during horticultural work.
	MLO66482	Building	c. 175m SSE	Victorian to 21st Century	Detached late Victorian brick-built house. Extended and converted into flats post 2002.
	MLO118692	Monument	c. 215m SE	Hanoverian to Early 20th Century	Chapel of Ease built in 1835 and designed by Mr. R. P. Browne and extended in 1851. In around 1878 the chapel was demolished, but the steeple remained until it to was demolished in the mid-1920s.
	MLO118693	Park	c. 290m SE	Victorian	Graveyard consecrated in 1842 and associated with the Chapel of Ease, Bexleyheath. In 1921 it was laid out as a Garden of Remembrance.
DLO33191	MLO66462	Locally Listed Building	c. 225m E	Post Medieval to Modern	A large Baptist Chapel built or re-fronted in 1868 to the design of the productive church building team of Habershon and Pite. Overlooking Broadway opposite its new junction with Albion Road the chapel has a powerful presence due to an elegant oversized
DLO33192	MLO66463	Locally Listed Building	c. 60m NE	Modern	The Golden Lion is a former hotel, now a public house which was built in 1902. A large, architect-designed public house erected on the site of two or more successive earlier hostelries in 1902, then the corner of Crown Street (later West Street) and Bro
DLO33193	MLO66464	Locally Listed Building	c. 275m NE	Post Medieval to Modern	The Volunteer is an early 19th century corner public house with stucco walls and a three gabled roof.

DLO33194	MLO66466	Locally Listed Building	c. 300m WNW	Post Medieval to Modern	4 Crook Log is a three-storey semidetached house with an H-shaped in plan view. It is of a late 19th century and is built of yellow stock brick with artificial slate roofs.
DLO33194	MLO66467	Locally Listed Building	c. 290m WNW	Post Medieval to Modern	6 Crook Log is a three-storey semi-detached house with an H-shaped in plan view. It is of a late 19th century and is built of yellow stock brick with artificial slate roofs which are turnerised to No.6.
DLO33195	MLO66469	Locally Listed Building	c. 370m WNW	Post Medieval to Modern	18 Crook Log is a semi-detached house of a late 19th century date. It has two storeys plus basement in yellow stock brick with plain stucco banding, porches, cornice, and window surrounds.
DLO33195	MLO66470	Locally Listed Building	c. 380m WNW	Post Medieval	20 Crook Log is a semi-detached house of a late 19th century date. It has two storeys plus basement in yellow stock brick with plain stucco banding, porches, cornice, and window surrounds. Porches around doorways to both buildings in plain stucco.
DLO33259	MLO66471	Locally Listed Building	c. 405m WNW	Post Medieval	Crook Log Surgery is a former house built in the late 19th century. It has two storeys plus basement in yellow stock brick L-shaped in plan
DLO33260	MLO66472	Locally Listed Building	c. 390m WNW	Post Medieval to Modern	Hargreaves and Partners occupies a late 19th century house. It is yellow brick with two storeys and basement in yellow stock brick and part rendered on west face.
DLO33273	MLO66480	Locally Listed Building	c. 140m SSE	Post Medieval to Modern	Morgans Wine and Ale House (formerly Royal Standard), on Lion Road was re-fronted 1910. It is yellow brick and render with two storeys and a single storey extension to left and two storey outbuilding.
DLO33274	MLO66483	Locally Listed Building	c. 385m S	Post Medieval to Modern	The Robin Hood and Little John public house on Lion Road was built in 1850. It is painted brick with a gabled slate roof. The two-storey building has a single storey flat roofed projection to much of front.
DLO33275	MLO66498	Locally Listed Building	c. 490m S	Post Medieval to Modern	92 Lion Road is a detached house circa 1850. It is yellow brick with red brick dressings and a hipped artificial slate roof with a stack to the south.
DLO33288	MLO100850	Locally Listed Building	c. 290m E	Modern	Number 202-204 Broadway, Bexleyheath is a 1930 shop with flats above in art deco style.
DLO33288	MLO100850	Locally Listed Building	c. 280m E	Modern	Number 202-204 Broadway, Bexleyheath is a 1930 shop with flats above in art deco style.
DLO33295	MLO100744	Locally Listed Building	c. 305m ESE	Modern	6 Oaklands Road, Bexleyheath is an unusual 1930's house. This extraordinary house in 1930s style uses bricks more commonly used in 19th century buildings.

DLO33323	MLO100857	Locally Listed Building	c. 300m W	Post Medieval to Modern	Number 6 Upton Road is one of a pair of late 19th century semi-detached houses called Howe Villas.
DLO33323	MLO100728	Locally Listed Building	c. 300m W	Georgian to 21st Century	Number 4 Upton Road, Bexleyheath is part of a pair of late 19th century semi-detached houses called Howe Villas.
DLO33337	MLO66551	Locally Listed Building	c. 345m SW	Post Medieval to Modern	44 Upton Road is a house attached to end of a 19th century terrace. It is considered to be one of Hogs Hole Cottages and is rendered
DLO33343	MLO66562	Locally Listed Building	c. 345m SW	Post Medieval to Modern	1 Hogs Hole Cottages on Red House Lane is part of an early 19th century terrace. It is a two-storey rendered terrace of ten bays and slated roof, hipped at north end.
DLO33343	MLO66553	Locally Listed Building	c. 350m SW	Post Medieval to Modern	1 Hogs Hole Cottages on Red House Lane is part of an early 19th century terrace. It is a two-storey rendered terrace of ten bays and slated roof, hipped at north end.
DLO33343	MLO66556	Locally Listed Building	c. 355m SW	Post Medieval to Modern	3 Hogs Hole Cottages on Red House Lane is part of an early 19th century terrace. It is a two-storey rendered terrace of ten bays and slated roof, hipped at north end.
DLO33343	MLO66559	Locally Listed Building	c. 350m SW	Post Medieval to Modern	5 Hogs Hole Cottages on Red House Lane is part of an early 19th century terrace. It is a two-storey rendered terrace of ten bays and slated roof, hipped at north end.
DLO33343	MLO66561	Locally Listed Building	c. 345m SW	Post Medieval to Modern	7 Hogs Hole Cottages on Red House Lane is part of an early 19th century terrace. It is a two-storey rendered terrace of ten bays and slated roof, hipped at north end.
DLO33360	MLO66566	Locally Listed Building	c. 270m WSW	Post Medieval to Modern	25 Upton Road is a detached house circa 1870 of yellow brick with stone dressings. It has a half-hipped concrete tile roof.
DLO33361	MLO66567	Locally Listed Building	c. 305m WSW	Post Medieval to Modern	A Victorian cottage hospital on Upton Road was built in 1884 with later additions. Yellow brick, half-timbered first floor. Gabled slate roof with clay ridge tiles, part single and part two storey. Also used as a military auxiliary hospital
DLO33380	MLO100689	Locally Listed Building	c. 265m ESE	Early 20th Century to 21st Century	A war memorial circa 1920 is located on Oaklands Road, Bexleyheath. It comprises a rusticated stone column on a squared base with inset inscriptions and lettered plates.
DLO33430	MLO100651	Locally Listed Building	c. 225m SE	Modern	St John Vianney Catholic Church, on Heathfield Road, Bexleyheath was built in 1958. It is a flint faced, largely symmetrical church with cement quoins and surrounds on a symmetrical plan.

DLO33480	MLO100622	Locally Listed Building	c. 70m E	Post Medieval to Modern	The Avco Trust Building at 269 Broadway, Bexleyheath is a late 19th century bank with attached offices.
DLO33482	MLO100621	Locally Listed Building	c. 370m E	Post Medieval	A granite stone obelisk (Fountain Design No.12) erected 1879 in Market Place, Bexleyheath and relocated to this site in 1914 three years after a clocktower was built in Market Place.
DLO33502	MLO100605	Locally Listed Building	c. 445m NE	Modern	War memorial. C1950. Bronze plaque located in north-west corner of Bexleyheath Cemetery. Wording: BOROUGH OF BEXLEY IN LASTING MEMORY, Those who rest here made the supreme sacrifice through enemy action in the Borough during the Second World War 1939-45.
DLO33503	MLO100604	Locally Listed Building	c. 315m ENE	Post Medieval to Modern	The cemetery chapel is an L-shaped chapel of rest built to serve Bexleyheath Cemetery which was established in 1879.
DLO33504	MLO100603	Locally Listed Building	c. 430m NW	Modern	Ravensbourne on Avenue Road is a two-storey villa of a 1904 date in light red brickwork with string courses, quoin shapes, window surrounds and parts of decorative gable arch picked-out in Cambridge Cream bricks.
DLO33505	MLO100602	Locally Listed Building	c. 365m NW	Modern	Torre on Avenue Road is a double-fronted Edwardian villa in yellow stock brickwork with string courses, quoin patterns and window surrounds picked-out in light red bricks.
DLO33506	MLO100601	Locally Listed Building	c. 350m WNW	Modern	Turret House on Avenue Road is a two-storey villa of a 1904 date in light red brickwork with a gabled, L-shaped slate roof. Over the entrance porch is an octagonal turret, with an octagonal roof.
DLO35309	MLO103083	Locally Listed Building	c. 340m ENE	Modern	Checked with Council's records Bexleyheath Cemetery ref: OP-2070. Henry Maufe d. Feb 1910 & Alice Maude Maufe d. 1928. Parents of Sir Edward Maufe (lived at The Red House during inter-war period) architect Guildford Cathedral and some distinctive London churches also Bexley Village Library.
DLO35537	MLO103612	Locally Listed Building	c. 395m ESE	Modern	Former early 20th century cinema with art deco facade. Currently a Chinese restaurant.
Intrusive Events					
Event ID	Type	Name	Year		Description

ELO101	Trail Trenching	Crook Log (No 10),	2002		An evaluation took place at 10 Crook Log, Bexleyheath between the 29th of April and the 1st of May 2002 by PreConstruct Archaeology. Two trial trenches were excavated within the southern end of the proposed development area. The only archaeological remains found were silty sand ploughsoil which contained late Post Medieval artefacts.
ELO11055	Watching brief	Red House Lane, [Red House],	2005		Investigations within the Grade I listed house.
ELO19031	Evaluation	Banks Lane Broadway (r/o No. 198-200)	2018		In 2018 Groundworks Archaeology carried out an archaeological evaluation at land to the rear of 198-200 Banks Lane Broadway. Two trenches were excavated to evaluate the site. The evaluation revealed no archaeological finds or features. The evaluation revealed a stratigraphy of modern make up overlaying natural gravels, evidence that the site had been considerably truncated on the site, possibly during the time when the garages were constructed.
ELO20536	Watching brief	Red House	2019		Excavation of two trenches, which had been excavated to recreate an enclosed rectangular garden. Unknown garden features from circa 1900 were found.
ELO21065	Watching Brief	Broadway (no 181-185)	2016		Three evaluation trenches revealed a sequence of sands and Harwich Formation gravels. These were beneath subsoil which was capped by modern made ground. The observations found the modern services had caused disturbances in all trenches.
ELO2524	Evaluation	Devonshire Road (Nos 1-7)	2004		A total of five test pits were excavated by JCB. The pits were 2.2m by 0.8m in plan. Monitoring of the works revealed 19th century backfilled cellars and modern made ground in the western part of the site, with later post medieval worked soil horizons to the east.
ELO5454	Trial Trenching	315-321 Broadway	1999		There is no description for this event
ELO6076	Evaluation	Harcourt Road, (No 20-28A)	2005		The site comprised three trial trenches which revealed no archaeological deposits.
ELO6389	Watching brief	Crook Log (No. 8),	1999		The site uncovered no significant archaeological deposits.

ELO8728	Evaluation	Red House	2007		An excavation and recording of brick footings in the Kitchen Garden of Red House, Bexleyheath, was conducted by the National Trust in 2007.
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Figure 14: Gazetteer of GLHER Records

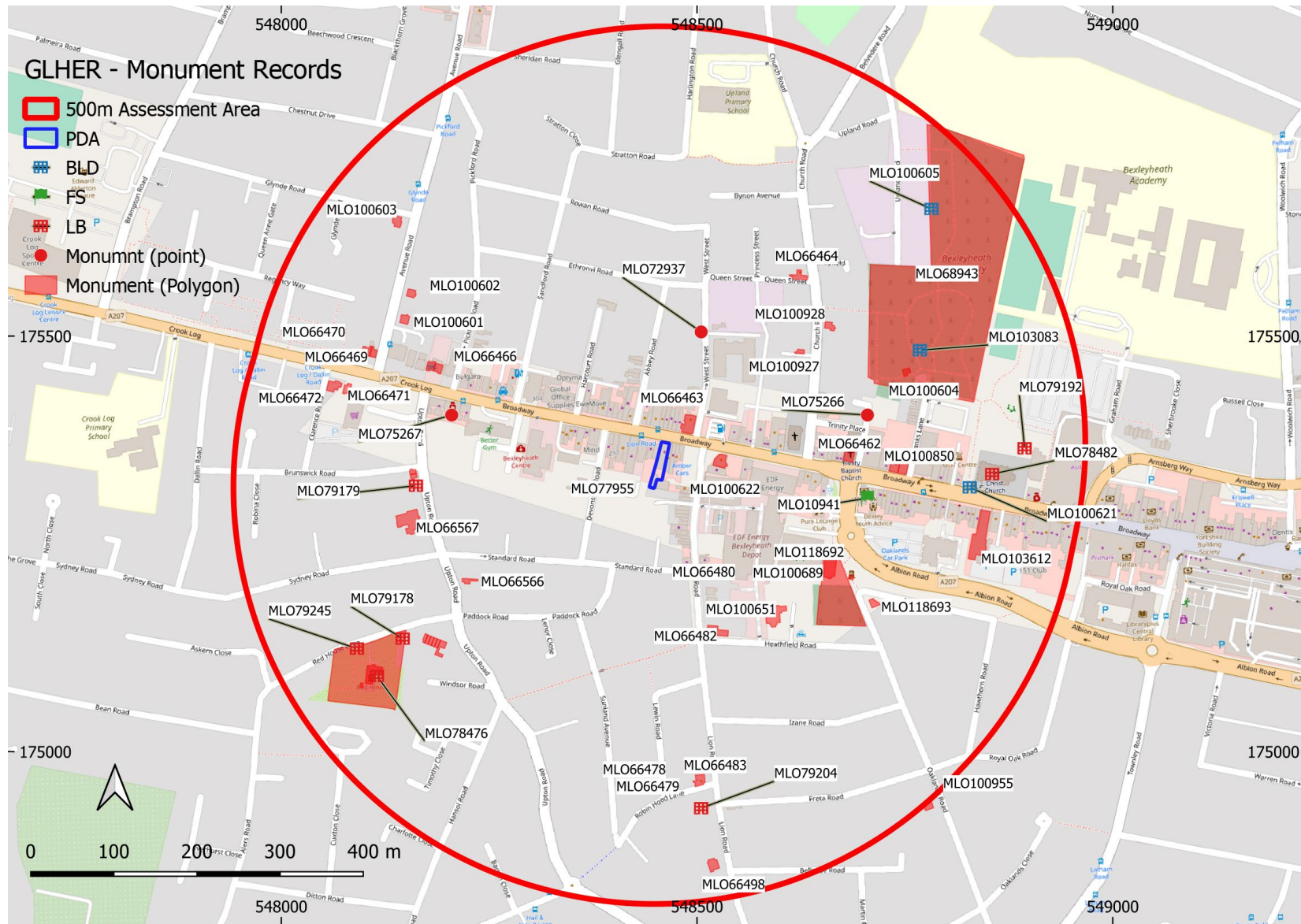


Figure 15: GLHER Monument Record

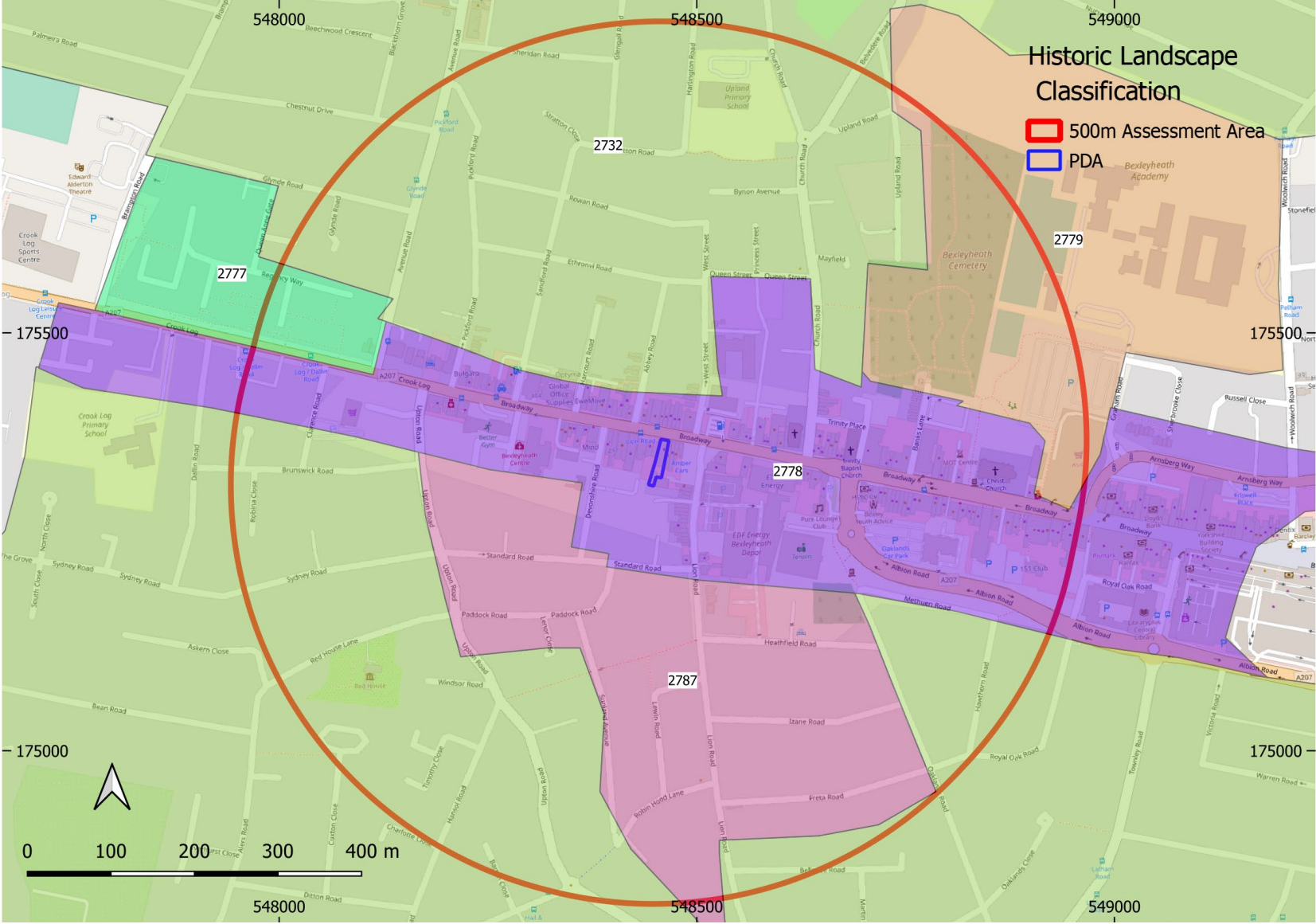


Figure 16: GLHER Historic Landscape Characterisation

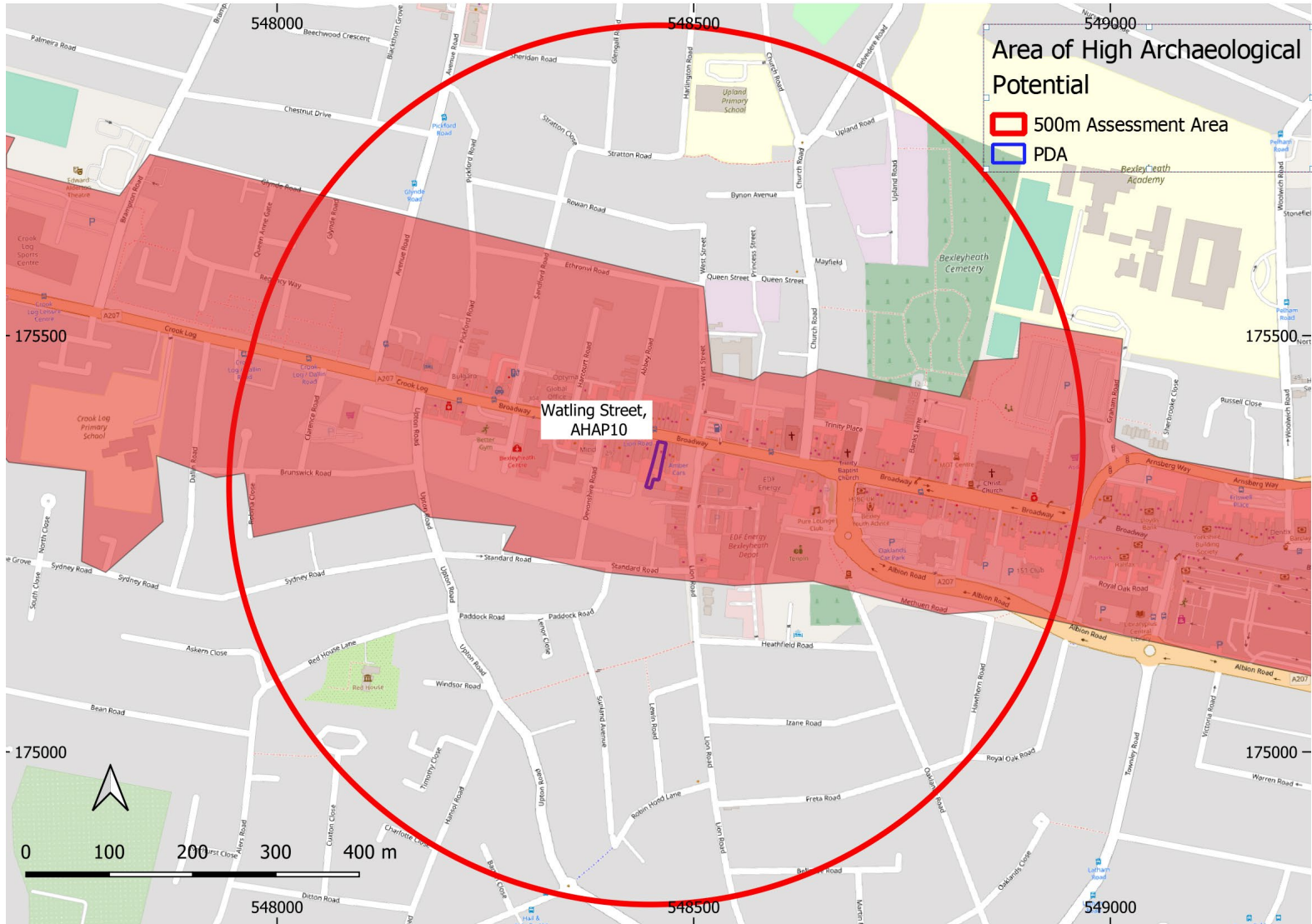


Figure 17: GLHER Area of High Archaeological Potential

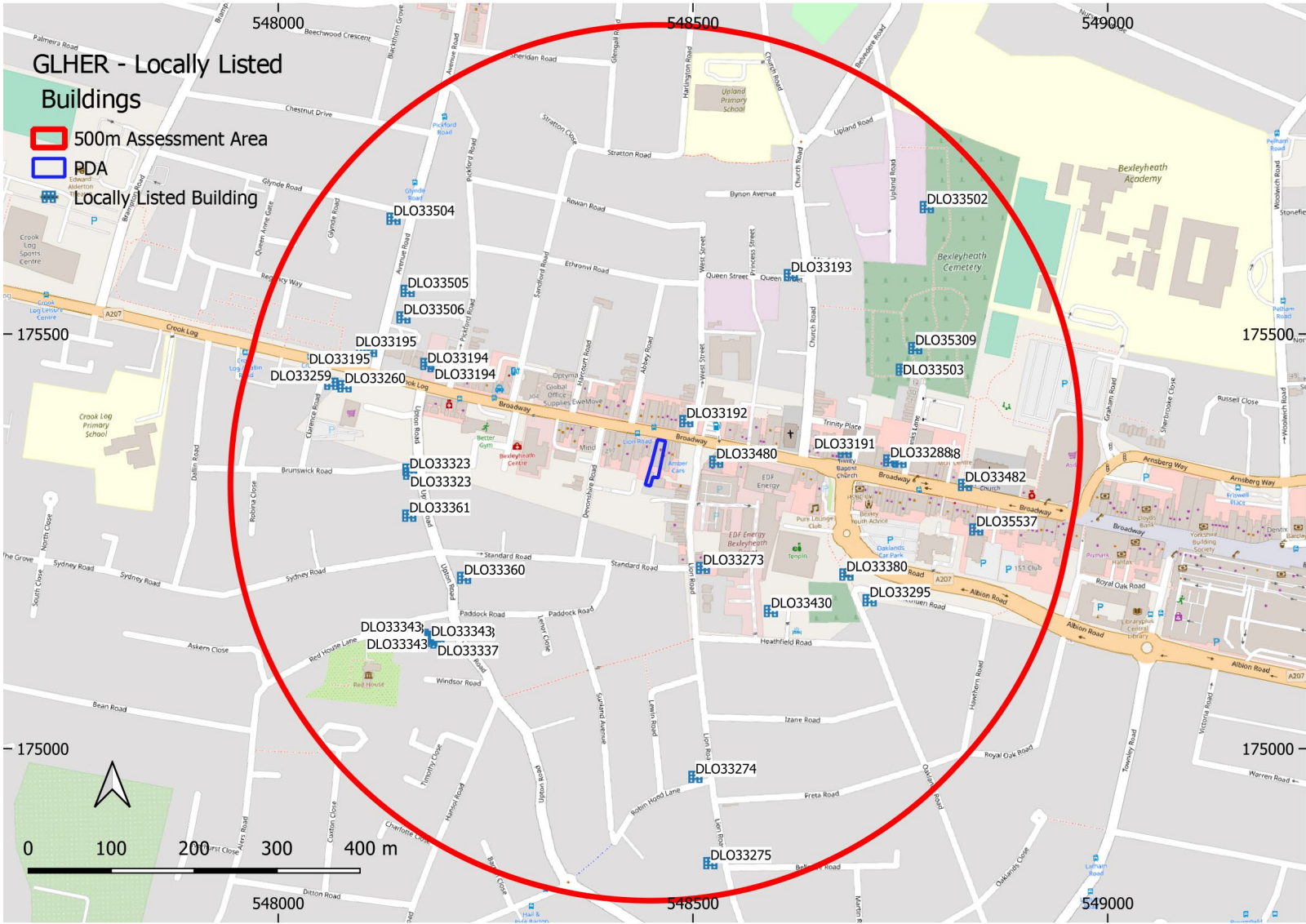


Figure 18: GLHER Locally Listed Buildings

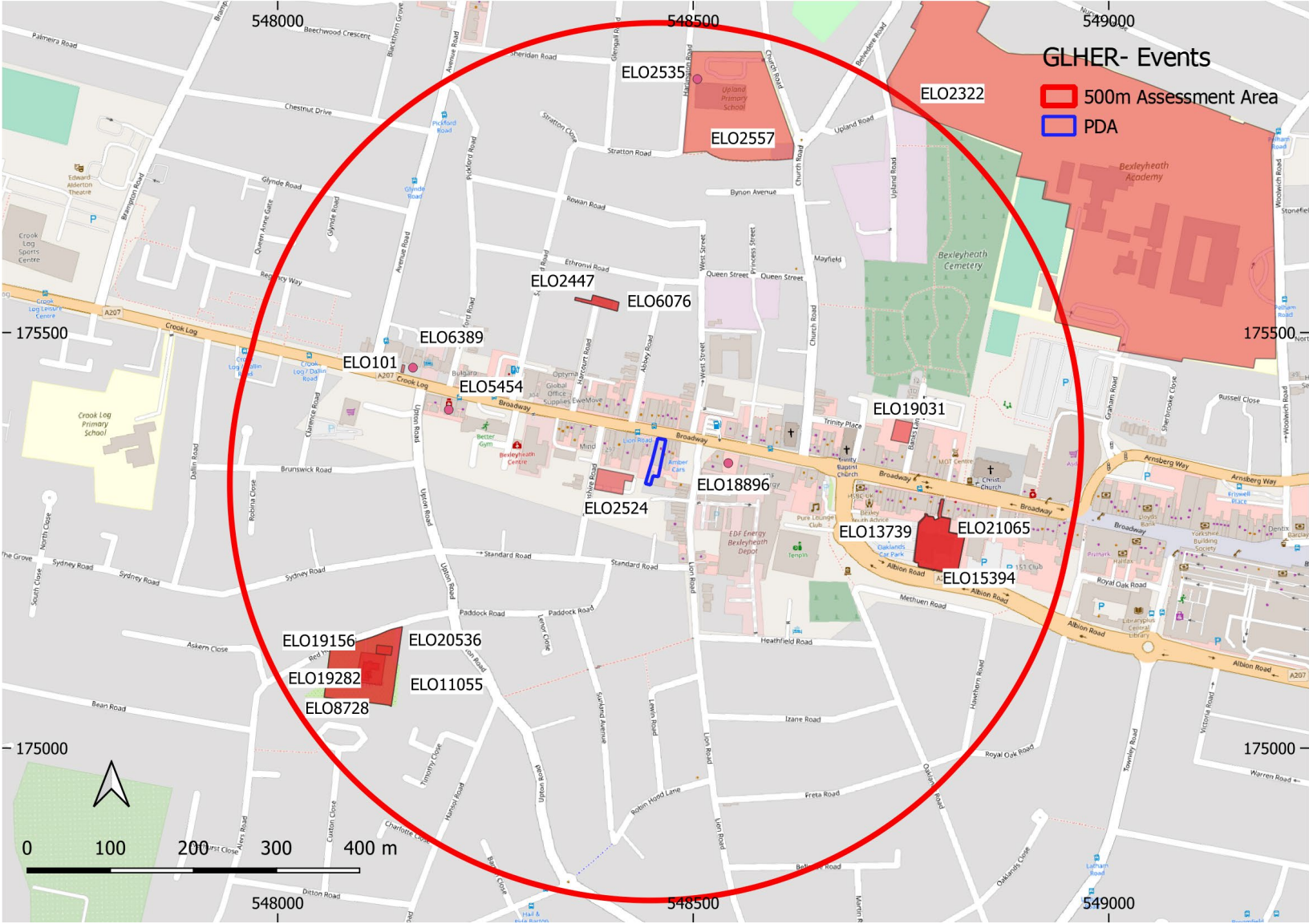


Figure 19: GLHER Events



Plate 1: 1940s. Altitude 160m (Google Earth).



Plate 2: 2003 (Google Earth)



Plate 3: 2010 (Google Earth)



Plate 4: 2021 (Google Earth)



Plate 5: Front of the PDA (facing S)



Plate 6: Entrance towards the PDA from Lion Road (facing WNW)



Plate 7: Looking across the rear single storey extension (facing SSE)



Plate 8: View towards the yard access and the south western outbuilding (facing WNW)



Plate 9: View across the yard area (facing NNW)



Plate 10: View across the yard area (facing NW)



Plate 11: Northern end of the south western outbuilding (facing SW)

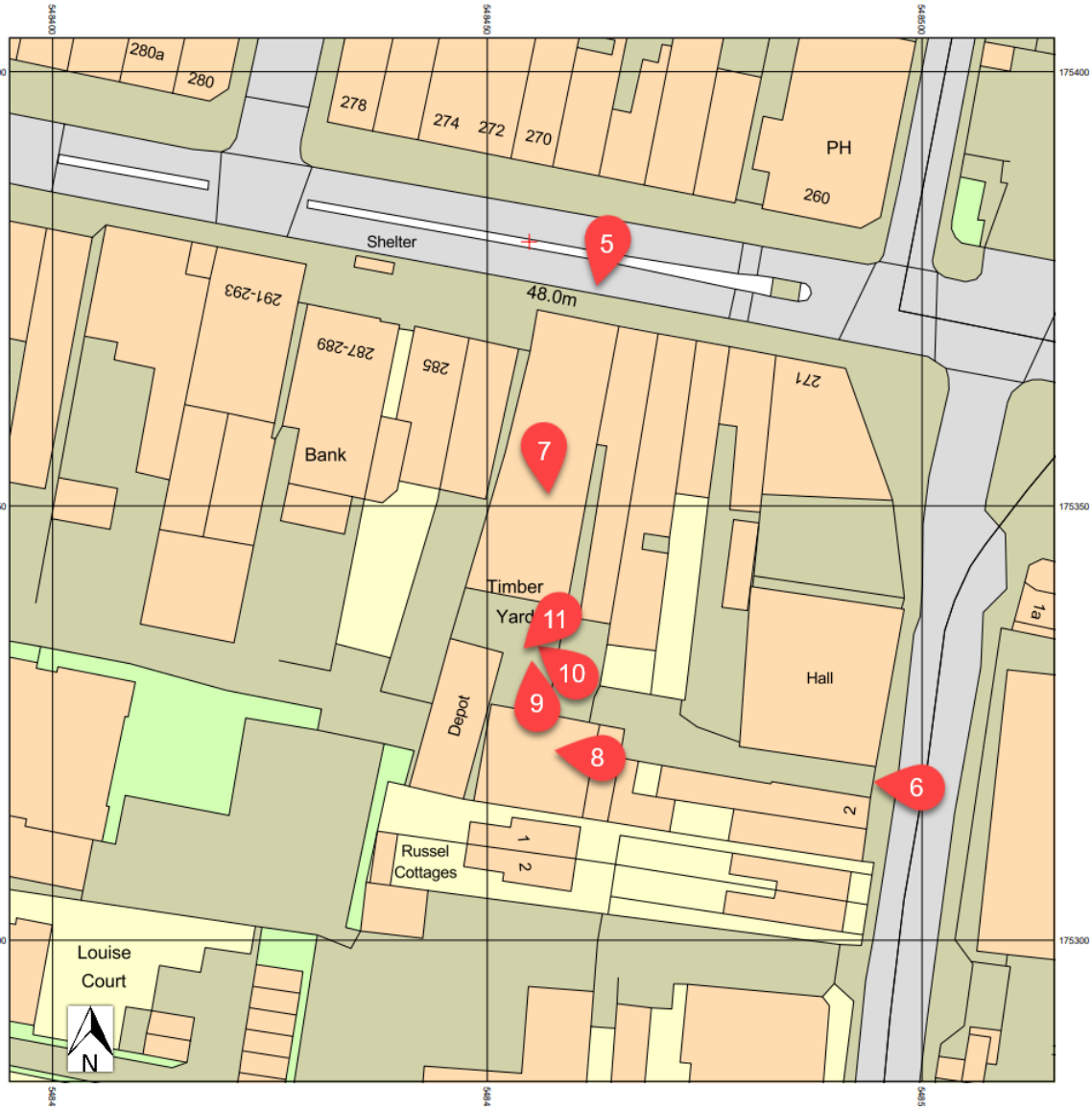


Plate 12: Plate Locations